

NOTE:

**Plans & Specifications may not be exactly as constructed.
Some modifications may have been made during construction.**



RICHARD'S BARN RENOVATION

RE-ISSUED FOR CONSTRUCTION - MARCH 21st, 2022

DRAWING LIST

A001 - SPECIFICATIONS
A002 - ASSEMBLIES
A100 - SITEPLAN
A200 - FLOORPLAN - BASEMENT
A201 - FLOORPLAN - MAIN
A202 - FLOORPLAN - L2
A300 - ELEVATIONS - NORTH + EAST
A301 - ELEVATIONS - SOUTH + WEST

A400 - SECTIONS
A401 - SECTIONS
A500 - PLAN DETAILS
A600 - SECTION DETAILS
A700 - WINDOW & DOOR SCHEDULE
A800 - ELECTRICAL PLAN - MAIN
A801 - ELECTRICAL PLAN - L2
A801 - ELECTRICAL PLAN - BASEMENT

A900 - INTERIOR ELEVATIONS
A901 - INTERIOR ELEVATIONS
A902 - INTERIOR ELEVATIONS
A903 - INTERIOR ELEVATIONS
A904 - INTERIOR ELEVATIONS
A905 - INTERIOR ELEVATIONS
A906 - INTERIOR ELEVATIONS

S101 - FOUNDATION PLAN
S102 - FRAMING PLAN - MAIN
S103 - FRAMING PLAN - L2
S104 - FRAMING PLAN - ROOF
S201 - SECTIONS & NOTES
S301 - FRAMING ELEVATIONS

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SPECIFICATIONS

1. GENERAL CONDITIONS

STANDARDS

- Contractor and all subcontractors to provide the owner with written guarantees and warranties for all materials and workmanship for a period of not less than one year.
- Material or work found defective or in distress at that time will be replaced by the contractor or subcontractor at no additional cost to the owner. Material and work replaced will receive the same warranty and guarantee as original material and work.
- All materials, processes and workmanship must be in compliance with the National Building Code of Canada and authorities having jurisdiction over residential construction in Lunenburg County, Nova Scotia.
- The construction manager shall examine all drawings, check all dimensions, and report any discrepancies before proceeding with the work.
- All work is to be carried out in accordance with the Nova Scotia Occupational Health & Safety Act.

2. SITE WORK

- EXCAVATION/BACKFILL**
 - Excavate and store material with minimum disturbance to existing site drainage pattern.
 - Backfill foundations using clean granular fill to drain to weeping tile.
 - Store spoils in area designated by owner.

ROUGH GRADING/SITE DRAINAGE

- Grade building perimeter and foundation exposure in accordance with drawings provided by the architect.
- Maintain surface drainage away from building.
- Footing drains to be backfill footings as per architectural drawings.
- Rainwater leaders and perimeter drainage tiles to drain to surface or gravel trench. Coordinate location with architect.
- Maintain existing site perimeter drainage pattern.

SITE SERVICES

- Supply and install septic system. Obtain approval from all authorities having jurisdiction.
- Provide below ground electrical services to building for power, telephone, internet and television.
- Supply and install well. Location to be determined.

EXTENT OF LANDSCAPING

- Material removed for excavation to remain on site.
- Trees to be removed as indicated on site plan.

3. FOUNDATIONS

CONCRETE

- Refer to structural drawings for specification.
- Coordinate with architectural details.
- Report any discrepancies to architect prior to execution of work.

REINFORCING STEEL

- Refer to structural drawings for specification.
- Employer to approve placement of all reinforcing bar on site prior to pouring concrete.

FOOTINGS

- Refer to structural drawings for specification and reinforcing.
- Frost wall footings to have min. 4'-0" frost cover as per structural drawings.

FOUNDATION WALLS

- Reinforced concrete walls
- Refer to structural drawings for specification.
- All concrete walls to be reinforced as shown on structural drawings.
- All exposed concrete foundation walls to be clean and free of defects. Provide adequate vibration to ensure minimal defect.

WATERPROOFING

- Apply damp proofing on exterior face of foundations below finished grade.
- Establish finished grade line with architect prior to application of damp proofing.

DRAINAGE

- Supply and install 4" weeping tile drainage at footings of all perimeter foundation walls as per drawings. Drain to surface in gravel trench (coordinate location w/ landscape architect).

4. FRAMING

STANDARD

- Refer to structural drawings for specification.
- All lumber shall be No. 1 grade SPF in accordance with CAN3-084-1.M84, unless noted otherwise.
- All nails, spikes, and staples shall be in accordance with NBCC clause 9.2.3

WALLS

- Refer to structural for all framing layouts and details
- Non-bearing walls to be 2x6 studs @ 16" o/c.
- Non-bearing 2x4 studs @ 16" o/c to be used where noted on plans and wall assemblies.
- Existing timber framing to remain exposed, clean and restore as req'd. Replace rotting or damaged timbers as req'd.
- Non-timber framing in addition to match existing, refer to structural.
- Refer to structural and interior elevations for timber framing layout.
- Existing exposed board sheathing to be cleaned and whitewashed. Replace rotting or damaged boards as req'd.
- Exposed sheathing on walls and roof of addition to be 1 x 6 T&G Pine, whitewashed to match existing.
- Exceptions to standard framing see posts shown on plans and details.
- Provide solid blocking at the underside of all bearing walls.
- Provide solid blocking on all swinging entry doors at lock height, between jambs and structural framing.
- All posts and lintel supports shall have continuous bearing to top of foundation walls as per structural drawings.
- Pre-drill all lag bolt holes prior to installing bolts.
- Recess all bolt heads and nuts into lumber to make flush, especially around windows.
- Refer to structural drawings for all posts and load bearing wall requirements.

FLOORS

- Refer to structural drawings for specifications and architectural details for assemblies.
- Report to architect any discrepancies prior to execution of work.
- Showers floors to be flush with adjacent floors

ROOF

- Refer to structural drawings for specifications and architectural details for assemblies.
- Existing rafters to be cut flush with outer edge of exterior insulation.
- Existing rafters to be reinforced, straightened as req'd, refer to structural.
- Report any discrepancies to architect.

SHEATHING

- Wall sheathing on garage, bumpout, and breezeway to be 1/2" OSB. Refer to structural drawings.
- Roof sheathing on garage, bumpout, and breezeway to be 3/8" OSB. Refer to structural drawings.
- Exposed Wall and roof sheathing in house addition to be 1 x 6 T&G Pine, whitewashed to match existing. Sample to be provided for approval.
- Nailing pattern to coincide with stud and rafter spacing to ensure no exposed nails on interior of exposed framing.

STRAPPING

- P-1. Strapping to meet NBC
- Nailing pattern to coincide with stud spacing to ensure no exposed nails on interior of exposed framing.

LINTELS

- Lintels to be flush with exterior face of frame unless otherwise shown.
- One full height stud and double support jacks studs at each end unless otherwise noted.
- Provide solid blocking at underside of upper floor at each lintel support stud as per structural drawings.

5. METALS

- Refer to structural drawings for structural steel specification.
- All exposed interior connectors, plates, and cross bracing to be shop-primed and painted. Paint color to match exposed timbers. Submit sample to architect for approval.
- All exterior fabricated metals to be galvanized.

- Roofing to be galvanized standing seam metal w/ hidden fasteners.
- Provide steel non-combustible floor covering at fireplace to meet NBC, make flush w/ adjacent flooring.
- Align all bolts to same direction.
- Weld and grind flush/ counter-sink all nuts and bolts where their position affects continuity of interior finish and/or window sills, especially those in wood nailers
- All welded joints in architectural exposed structural steel shall be ground smooth and shall have a finish in accordance with architectural drawings for alignment.
- Shop drawings required for review prior to fabrication and installation.

6. THERMAL - MOISTURE PROTECTION

INSULATION

- Provide moisture protection between all wood and concrete connections.
- Supply and install insulation in bedroom and bathroom walls for acoustic privacy.
- Supply and install insulation in master bedroom ceiling for acoustic privacy.
- Spray foam all basement wood exterior walls with closed cell foam to min. R24.
- Spray foam roof with closed cell foam to min. R40
- Rigid insulation beneath slab on grade to min. R10
- Exterior wall insulation to be Rockwool ComfortBoard 80 or approved alternate to min R24, offset joints and tape outermost layer.
- Exterior laundry/dryroom, breezeway and bumpout walls to be Rockwool ComfortBoard or approved alternate to min R24.

VAPOR BARRIER

- Fully seal all seams and corners of entire building to prevent any leaks.
- Not required where spray foam is used.
- Vapour barrier beneath slab on grade
- Systems Soproresel AVB or approved alternate used on all insulated exterior walls w/ exposed interior framing
- 6 mil polyethylene vapour barrier
- Blueskin or equivalent around all openings in exterior wall.

WIND BARRIER

- VaporsShield Kings Shield IT to be used on garage, breezeway, and bumpout exterior walls. Fully seal all seams to prevent infiltrations as per manufacturer's instruction.
- VaporsShield RevealShield IT to be used on all exterior walls with Fundamax Panels. Fully seal all seams to prevent infiltrations as per manufacturer's instruction.

WALL CLADDING

- Eastern White Cedar Shingles, treated with LifeTime, Weave corners
- All fasteners to be stainless steel.
- Provide continuous insect guard at bottom of wall cladding as per architectural drawings
- Fundamax Max exterior f-quality panels w/ concealed fasteners, colour t.b.d.

ROOFING

- Roofing to be galvanized standing seam metal w/ hidden fasteners
- Ice and Water Shield

FLASHINGS

- Aluminum flashing along all roof edges
- Aluminum flashing around and above windows as per architectural drawings, finish as per architectural details
- Exterior Barn door sliding hardware to be finished in aluminum
- Blueskin or equivalent around all openings in exterior wall
- Softfill to be clear eastern white cedar 1 x 6 boards treated w/ Lifetime.

CONCEALED GUTTERS - DOWNSPOUTS

- Provide heat cables along all gutters and downspouts to prevent ice damming.
- Flashing for gutters to be continuous. See architectural drawings for details.
- Downspouts to match windows.

7. DOORS - WINDOWS

- All windows and doors to be Marvin Signature ultimate with Pine interior painted White and aluminum clad Exterior w/ Gunmetal Finish.
- All exterior doors to have to have keyed levers with deadbolt. Handles t.b.d.
- All operable windows to have screens. Review screen type with architect prior to installation.
- Select windows to have recessed roller blinds, refer to window schedule. Colour and type t.b.d.
- All window head / sill / jamb flashings to be painted metal as per architectural details
- All wall cladding flashings to be metal, finish t.b.d.
- All window head / sill / jamb details to be reviewed by window manufacturer prior to fabrication. Coordinate with architect.
- Provide pressure treated nailers for all head / sill / jamb connections.
- All interior doors to be Mahogany solid core doors painted white; refer to door schedule for sizes.
- All interior swing doors to have Water Stryder passage levers with round rose. Provide privacy sets for all bathrooms and bedrooms. Finish to be Satin Chrome.
- Custom hidden doors to be clad with 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white. Align channels with adjacent walls.
- All interior sliding doors to have Mardecos M Series in satin chrome, provide privacy sets for all bedrooms
- Exterior Barn door track to be Richelieu Heavy-Duty Galvanized Steel Box Rail with flashing or approved alternate.
- All shop drawings for review on all doors and windows prior to fabrication.
- Sightlights to be Velux FCM 2246 2 0 4
- Operable Sightlights to be Velux VCM 2246 2 0 4

8. FINISHES

- FLOORS**
 - See Assemblies
 - Unless otherwise noted, finished floors to be birch hardwood.
 - Start treads to basement and to lift to match floors with square nosings to match.
 - Basement slab floors to have hy-dronic in-floor radiant heating.
 - The floors in showers to be installed flush with adjacent flooring, slope to drain. Drain to fit within the module, conform with architect.
 - Bathroom shower floors to be non-slip Tile t.b.d., grout t.b.d.
 - Main Entry and laundry floor to be Tile t.b.d., grout t.b.d.
 - Deck to be eastern white cedar treated with Lifetime.
- WALLS**
 - See Assemblies
 - Typical interior walls to be 1x6 horizontal tongue and groove pine boards with 3/8" square channel reveal painted solid white. Provide sample for approval.
 - Basement walls to be 2x6 gypsum board painted white
 - All millwork reveals to have black backing unless otherwise noted.
 - The backstop above kitchen counter t.b.d., grout t.b.d. Refer to interior elevations for tile alignment.
 - All shower and vanity walls to be tiled, tile t.b.d., grout t.b.d. Refer to interior elevations for tile alignment.
 - Use cement board and waterproof fabric underlayment (SOLAR, or approved equal) in wet areas of bathrooms where finished with ceramic tile as per drawings.
 - Basement walls to be 1x6 horizontal tongue and groove pine boards with 3/8" square channel reveal painted solid white.
 - Exposed Wall and roof sheathing in house addition to be 1 x 6 T&G Pine, whitewashed to match existing. Sample to be provided for approval.
- TRIM**
 - No baseboards, run T&G boards in finished floor.
 - All interior sill/head/jamb extensions to be natural pine. Refer to architectural details.
 - Drywall return on floor to ceiling windows in basement; refer to architectural details.
 - Posts between windows to be covered with pine to match windows.
- CEILING**
 - See Assemblies
 - 1x6 horizontal tongue and groove pine boards with 3/8" square channel reveal; painted solid white. Provide sample for approval.
 - Moisture resistant drywall backing in showers
 - GWB painted flat white in basement
 - Shawnee ceilings to be 1x6 horizontal tongue and groove pine boards with 3/8" square channel reveal; painted solid white.
- PAINT**
 - All colors determined by architect.
 - 3 coats of satin urethane, sanding between coats on all wood that is to be left natural.
 - Prime and 2 coats of paint on all gypsum board, flat finishes for ceilings.
 - Prime and 2 coats of paint on all T&G boards, flat finishes for ceilings.
 - Seal all knots prior to painting pine

9. SPECIALTIES

FRIDGE

- Sliv 21-10S SF2 clad - white, wood finish.
- Provide stainless steel flue and chimney pipe. Roofing contractor to provide chimney pipe flasher to refer to architectural drawings for alignment.
- Provide shop drawings for review prior to installation.

GIARDARALS AND HANDRAILS

- Exterior Glass Guardrail to be CRL GRS dyglaze, surface mount, 1/2" guardrail system w/ U-channel cap rail or approved alternate.
- Interior Glass Guardrail to be CRL SR5 standard guardrail system or approved alternate.
- Exterior guardrail to be 1x6 horizontal Eastern White cedar, treated w/ Lifetime. Installed w/ 3/8" open reveals. Refer to architectural details.
- Handrails to be CRL White Oak 1-1/2" Diameter Wood Dowel w/ CRL Brushed Stainless Concealed Surface Mounted Railing Bracket (H920485) or approved alternate.

ATTIC LADDER

- FKOV OVM Basic 25x17 Non-insulated three-section folding attic ladder - or approved alternate. Paint color to match ceiling.

10. EQUIPMENT

APPLIANCES

- All appliances supplied and installed by contractor.
- Verify all dimensions, electrical requirements, water supply requirements, and exhaust requirements prior to construction. Coordinate with architect.
- Washer / dryer t.b.d., allowance to be provided.
- Dishwasher t.b.d., allowance to be provided
- Counter depth refrigerator t.b.d., allowance to be provided
- Induction cooking t.b.d., allowance to be provided
- Wall mount Full oven t.b.d., allowance to be provided
- Wall mount half oven t.b.d., allowance to be provided
- Wall mount microwave t.b.d., allowance to be provided
- Range hood t.b.d., allowance to be provided

11. MILLWORK

CABINETS

- Refer to architectural drawings for details.
- All European style cabinetry (no face frames).
- All core cabinet doors to be solid 3/4" MDF.
- millwork to be matte grey w/ white melamine interiors. Colour to be determined by architect
- Provide shop drawings of all cabinetry for review prior to fabrication.
- Supply cabinet finish samples for approval.

TOPS

- Kitchen counter tops (including island) to be Caesarstone, colour t.b.d.
- Bathroom vanity counter tops to be Caesarstone, colour t.b.d.
- Laundry counter top to be determined.

HARDWARE

- All concealed, reverse, Blum steel hinges with +/- 10 degree swing.
- All pulls in cabinetry to be Richelieu Contemporary Stainless Steel pull - Product #: 2102128170 or approved alternate.
- Master shower grab bar to be Grohe Essentials 38" grab bar (Model 40750001) in chrome
- Toilet paper holders to be Grohe Essentials Single Post Toilet Paper Holder with Cover in StarLight Chrome. (Model 4037001)
- Bathroom towel rings to be Grohe essentials 8" towel ring (Model 40365001)
- Double magnetic latches to be Richelieu (R059830).
- Drawers to be melamine case or nylon roller in a full-extension metal track.
- All Custom concealed swing doors to use SOSS invisible hinges or approved alternate

CLOSETS

- Master closet to be MDF Millwork painted matte grey. Refer to interior elevations.
- Master closet to have Richelieu pull out aluminum shoe organizer rack (144530106)
- Additional closets to have 3/4" white melamine steel with 1 1/2" diameter metal rod with brackets.

12. MECHANICAL

GENERAL

- Supply and install all plumbing lines, fixtures, fittings and equipment as required in all drawings, and as required by authorities having jurisdiction to connect to municipal sewer and water.
- Ensure pressure balanced water delivery system.
- Acoustically isolate plumbing and mechanical from habitable spaces.
- Insulate hot water pipes.
- HEATING**
 - Provide adequate amount of glycol in radiant in-floor heating system to prevent freezing.
 - Provide accurate as-built documentation of complete installation.
 - Provide Ducted heat pumps as primary heat source.
 - All thermostats to be white. Coordinate with architect for location and type.
- AIR EXCHANGE**
 - Supply and install HRV air exchange system.
 - Duct locations to be approved by architect.
 - Supply and return vent location to be approved by architect.
 - Exhaust fans in bathroom to vent outside, see Electrical Plans for location and type. Provide timed switches.
 - Floor vents in wood floor if required to match flooring material and finish
 - Exterior vents to match cladding in material and colour

HOT WATER HEATER

- Heating contractor to determine sizing of domestic hot water heater for domestic hot water in house.
- Determine and if necessary, supply and install water softener (Kineticool), water softener to be approved by client.
- PLUMBING FIXTURES**
 - Plumb all bathrooms and water closets.
 - Plumb for sink and dishwasher in kitchen
 - Plumb for washer
 - Kitchen Sink to be Franke Cube CUX163 Stainless Steel (122.0371.355) w/ Waste disposers W1955 (131.0402.020)
 - Kitchen Island to be Hansgrohe Focus FM1 Single lever Kitchen mixer 240, w/ pull-out spray. 315501
 - Kitchen sink to have Insinkerator Eager 5 Food Waste Disposer.
 - Bathroom sinks to be Kohler Castles 19" x 15" Undermount bathroom sink (K-2211-4-0)
 - Bathroom floor drains to be Hansgrohe - Focus Single lever basin mixer 100 LinoFlow with pop-up waste set- Chrome (3183000)
 - Bath showerer kit to be Hansgrohe Rainsense Select S Showerpipe 240 1jet PowerRain with thermostat (2783000)
 - Toilets to be Kohler Reckon Curv (K-23188-0) or approved alternate, w/ Kohler Cadet Quiet Close auto closing seat.
 - Toilet to be approved by client.
 - Plumb shower drain. Drain to be a square floor drain with stainless steel strainer. Drain to fit within the module.
 - Supply and install all weather exterior faucets as per architectural drawings.
 - All fixtures to be approved by architect, supplied and installed by contractor.
 - Provide cut sheets for final approval.

13. ELECTRICAL

SERVICE

- Provide underground electrical service from road. Electrical contractor to determine proper ampereage for electrical service.
- Rough-in pre-wiring and supply installation of electrical fixtures and equipment.
- All exposed wiring to be in conduit. Layout conduit carefully with 90 degree elbows.
- Provide 240v outlets for oven and dryer and mechanical equipment requiring same
- Architect to review location of all electrical units with electrical contractor prior to execution of work.
- Breaker type 200 Amp. panel with main breaker, confirm location with architect

SECURITY SYSTEM

- Design, supply, and install security system. Verify with architect prior to installation.

SWITCHES / OUTLETS

- Typical switch boxes to be mounted 54" above finish floor.
- Use toggle dimmer switches for all lighting fixtures except in storage areas and closets.
- Exterior receptacles, switches and cover plates to be Legrande Adorne series with Magnesium finish
- Exterior receptacles to be grey
- Exterior receptacle covers to have grey face
- Install ground fault interruptor (GFI) outlets in bedrooms and exterior outlet locations or where close to water.
- Install exterior grade electrical boxes and connectors at all exterior applications. Seal around all penetrations in cladding. Seal all fittings.
- Colour and finish of exterior outlets and covers to be approved by architect.

FIXTURES

- All fixtures approved by architect, supplied and installed by contractor.
- Refer to Electrical Plans for all lighting fixture specifications.
- Ceiling fans to be Big Asa Fans Haku in white aluminum.
- Master Bath towel warmer to be Amba ANTUS A2056 Hardwired Towel Warmer - 23.89" x 58.38" in polished steel
- Smoke detectors to meet building code. Fixex 5000 (white) hard wired with battery backup, or approved equal. Coordinate location with architect.

RICHARD'S BARN RENO
MADERN'S COVE, NS

SPECIFICATIONS

Scale: N/A
Date: 2021-09-07
Drawn by: EL
Checked by: NF

NICHOLAS FUDGE ARCHITECTS INC.
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No.	Description	Date
12	Re-issued For Construction	03-21-2022
11	Issued For Construction	02-19-2022
10	Issued For Permit	09-07-2021
09	Issued For Construction	08-16-2021
08	Issued For Permit / Pricing	10-26-2020
07	Issued For Permit	08-14-2020
06	Issued For Construction	07-27-2020
05	Issued For Preliminary pricing	03-10-2020
04	Issued For Construction	03-03-2020
03	Issued For Construction	02-27-2020
02	Issued For Construction	02-20-2020
01	Issued For Construction	02-03-2020
No.	Description	Date
Revisions / Issues:		

NOTES:
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- Architect's Requirements and Approvals:
- It is the Builder's responsibility to notify Nicholas Fudge Architects Inc. and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Architect.
- Engineer's Requirements and Approvals:
- It is the Builder's responsibility to notify Nicholas Fudge Architects Inc. and to seek prior written approval for materials and workmanship which deviates from instructions provided by the Engineer.
- Authorities' Requirements and Approvals:
- All materials and workmanship must comply with the requirements of all authorities having jurisdiction over the work. It is the Builder's responsibility to gain necessary approval from all relevant Authorities.
- Dimensions:
- All dimensions must be verified on site. Do not scale off drawings. Plans take precedence over elevations in the absence of dimensions, or if discrepancies exist, consult Architect. All minimum dimensions are to comply with the National Building Code of Canada.
- Shop Drawings:
- Submit shop drawings to the Architect and Engineer for approval prior to manufacturing prefabricated elements of the building.

SPECIFICATIONS

Scale: N/A
Date: 2021-09-07
Drawn by: EL
Checked by: NF

ASSEMBLIES

EXTERIOR WALLS

E1 - EXTERIOR WALL, BASEMENT:

- + Cedar Shingles, treated with LifeTime
- + strapping to meet N.B.C.
- + VaproShield WrapShield IT
- + 1/2" OSB sheathing
- + 2x6 Wood stud framing
- + mineral wool insulation to meet NBC
- + 6 mil. polyethylene vapour barrier
- + 1 1/2" Gap
- + 2x6 Wood stud framing
- + 1" Air gap
- + 2x4 stud framing
- + 1/2" GWB primed and painted white

**E2 - EXTERIOR WALL, CONC. FOUNDATION, GWB
INLC:**

- + waterproofing membrane
- + concrete foundation wall, see structural
- + 1" Air gap
- + 2x4 stud framing w/ closed cell spray foam (R24)
- + 1/2" GWB primed and painted white

E3 - EXTERIOR WALL, CONC. FOUNDATION:

- + waterproofing membrane
- + concrete foundation wall, see structural
- + 1" Air gap
- + 2x4 stud framing w/ closed cell spray foam (R24)

E4 - EXIST. EXTERIOR WALL, EXPOSED INT. TYP:

- + Cedar Shingles, treated with LifeTime
- + strapping to meet N.B.C.
- + VaproShield WrapShield IT
- + 1/2" OSB sheathing
- + 2x6 studs
- + mineral wool insulation to meet NBC
- + 6 mil. polyethylene vapour barrier
- + Existing Board Sheathing, Whitewash Interior.
- + Existing Timber structure

E5 - NEW EXTERIOR WALL, EXPOSED INT. TYP:

- + Cedar Shingles, treated with LifeTime
- + strapping to meet N.B.C.
- + VaproShield WrapShield IT
- + 1/2" OSB sheathing
- + 2x6 studs
- + mineral wool insulation to meet NBC
- + 6 mil. polyethylene vapour barrier
- + Board Sheathing to match existing, Whitewash Interior.
- + Timber structure to match existing

E6 - NEW EXTERIOR WALL, DRYWALL INT. TYP:

- + Cedar Shingles, treated with LifeTime
- + strapping to meet N.B.C.
- + VaproShield WrapShield IT
- + 1/2" OSB sheathing
- + 2x6 studs
- + mineral wool insulation to meet NBC
- + 6 mil. polyethylene vapour barrier
- + Existing Timber structure
- + Wood infill framing as req'd
- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.

E7 - EXIST. EXTERIOR WALL, WOOD INT.:

- + Cedar Shingles, treated with LifeTime
- + strapping to meet N.B.C.
- + VaproShield WrapShield IT
- + 1/2" OSB sheathing
- + 2x6 studs
- + mineral wool insulation to meet NBC
- + 6 mil. polyethylene vapour barrier
- + Existing Timber structure
- + Wood infill framing as req'd
- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.

E8 - EXIST. EXTERIOR WALL, TILE INT.:

- + Cedar Shingles, treated with LifeTime
- + strapping to meet N.B.C.
- + VaproShield WrapShield IT
- + 1/2" OSB sheathing
- + 2x6 studs
- + mineral wool insulation to meet NBC
- + 6 mil. polyethylene vapour barrier
- + Existing Timber structure
- + Wood infill framing as req'd
- + 1/2" DensShield or equivalent
- + Tile T.B.D.

E9 - NEW EXTERIOR WALL, BREEZEWAY:

- + Fundermax Max exterior f-quality panels w/ concealed fasteners, colour t.b.d.
- + strapping to meet N.B.C.
- + VaproShield RevealShield IT
- + 1/2" OSB sheathing
- + 2x6 studs
- + mineral wool insulation to meet NBC
- + 6 mil. polyethylene vapour barrier
- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.

E10 - NEW EXTERIOR WALL, UNINSULATED:

- + Cedar Shingles, treated with LifeTime
- + strapping to meet N.B.C.
- + VaproShield WrapShield IT
- + 1x6 T&G board sheathing
- + 2x6 studs

E11 - DORMER FIN WALLS:

- + Fundermax Max exterior f-quality panels w/ concealed fasteners, colour t.b.d.
- + strapping to meet N.B.C.
- + VaproShield RevealShield IT
- + 3/8" OSB sheathing
- + 2x4 Wood Framing
- + 3/8" OSB sheathing
- + VaproShield RevealShield IT
- + strapping to meet N.B.C.
- + Fundermax Max exterior f-quality panels w/ concealed fasteners, colour t.b.d.

**E12 - EXTERIOR WALL, CONC. FOUNDATION, W/
TILE:**

REMOVED

**E13 - EXTERIOR WALL, CONC. FOUNDATION,
GARAGE:**

- + waterproofing membrane
- + concrete foundation wall, see structural

**E14 - EXTERIOR WALL, BASEMENT, W/ MOISTURE
RESISTANT DRYWALL:**

- + Cedar Shingles, treated with LifeTime
- + strapping to meet N.B.C.
- + VaproShield WrapShield IT
- + 1/2" OSB sheathing
- + 2x6 Wood stud framing
- + mineral wool insulation to meet NBC
- + 1 1/2" Gap
- + 2x6 Wood stud framing
- + 1" Air gap
- + 2x4 stud framing w/ closed cell spray foam insulation (R24)
- + 1/2" Moisture resistant GWB primed and painted white

E15 - EXTERIOR WALL, BASEMENT, UNFINISHED:

- + Cedar Shingles, treated with LifeTime
- + strapping to meet N.B.C.
- + VaproShield WrapShield IT
- + 1/2" OSB sheathing
- + 2x6 studs
- + mineral wool insulation to meet NBC
- + 1 1/2" Gap
- + 2x6 Wood stud framing
- + 1" Air gap
- + 2x4 stud framing w/ closed cell spray foam insulation (R24)

INTERIOR PARTITIONS

P1 - INTERIOR WALL ASSEMBLY, GWB:

REMOVED

- + 1/2" GWB primed and painted white
- + 2x4 studs
- + 1/2" GWB primed and painted white

P2 - INTERIOR WALL ASSEMBLY, WOOD, TYP.:

- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.
- + 2x4 studs
- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.

**P3 - INTERIOR WALL ASSEMBLY, WOOD W/
DRYWALL:**

- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.
- + 1 1/2" Gap
- + 2x6 Wood stud framing
- + 1" Air gap
- + 1/2" GWB primed and painted white

**P4 - INTERIOR WALL ASSEMBLY, CEDAR W/
DRYWALL:**

- + 1x6 horizontal western red cedar T&G boards with 3/8" channel
- + 2x4 studs
- + 1/2" GWB primed and painted white
- + 1/2" OSB sheathing

P5 - INTERIOR WALL ASSEMBLY, TILE W/ WOOD:

- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.
- + 2x4 studs
- + acoustic insulation
- + 1/2" DensShield or equivalent
- + Tile T.B.D.

**P6 - INSULATED INTERIOR WALL ASSEMBLY @
GARAGE:**

- + 1/2" GWB primed and painted white
- + Resilient metal channel
- + 2x6 studs
- + mineral wool insulation to meet NBC
- + 6 mil. polyethylene vapour barrier
- + 1/2" GWB primed and painted white

P7 - SHEAR WALL ASSEMBLY W/ TILE:

- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.
- + 2x6 studs
- + 1/2" GWB primed and painted white
- + Tile T.B.D.

P8 - SHEAR WALL ASSEMBLY TYP.:

- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.
- + 2x6 studs

P9 - SHEAR WALL ASSEMBLY BASEMENT:

- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.
- + 2x6 studs
- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.

**P10 - INTERIOR WALL ASSEMBLY, WOOD W/
ACOUSTIC INSULATION:**

- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.
- + 2x4 studs
- + Acoustic Insulation
- + 1x6 horizontal tongue and groove boards with 3/8" square channel, painted solid white.

**P11 - INTERIOR WALL ASSEMBLY, GWB W/
ACOUSTIC INSULATION:**

- + 1/2" GWB primed and painted white
- + 2x4 studs
- + Acoustic insulation
- + 1/2" GWB primed and painted white

**P12 - INTERIOR WALL ASSEMBLY, MOISTURE
RESISTANT GWB W/ ACOUSTIC INSULATION:**

- + 1/2" GWB primed and painted white
- + 2x4 studs
- + Acoustic insulation
- + Moisture resistant 1/2" GWB primed and painted white

ROOF

**R1 - STANDING SEAM METAL w/ EXPOSED INT.
EXIST.:**

- + Standing Seam Metal Roofing, concealed fasteners
- + Ice and Water Shield
- + 3/4" OSB sheathing
- + 2x6 boards on end
- + 2 lb closed cell spray foam insulation - R40
- + Existing Board Sheathing, Whitewash Interior.
- + Existing Structure

R2 - STANDING SEAM METAL w/ EXPOSED INT. NEW:

- + Standing Seam Metal Roofing, concealed fasteners
- + Ice and Water Shield
- + 3/4" OSB sheathing
- + 2x8 boards on end
- + 2 lb closed cell spray foam insulation - R40
- + Board Sheathing to match existing, Whitewash Interior.
- + Timber structure to match existing, see structural

**R3 - ROOF ASSEMBLY, BUMPOUT / BREEZEWAY/
DORMER:**

- + 2-ply modified bitumen roofing membrane
- + 3/4" OSB sheathing
- + wood roof joists, see structural
- + 2 lb closed cell spray foam insulation - R40
- + 1/2" GWB primed and painted flat white

R4 - ROOF ASSEMBLY, GARAGE:

- + Standing Seam Metal Roofing, concealed fasteners
- + 3/4" OSB sheathing
- + Ice and Water Shield
- + Wood Roof Joists

FLOOR

F1 - FLOOR ASSEMBLY, TYP.:

- + Hardwood flooring T.b.d.
- + Foam underlayment
- + 3/4" T&G plywood sub-flooring
- + New floor I-joists, see structural
- + 3/8" Strapping
- + 1/2" GWB primed and painted flat white

F2 - FLOOR ASSEMBLY, LOFT (ACOUSTIC):

- + Hardwood flooring T.b.d.
- + Foam underlayment
- + 3/4" T&G plywood sub-flooring
- + New floor I-joists, see structural
- + Acoustic insulation
- + 3/8" Strapping
- + 1/2" GWB primed and painted flat white

F3 - INSULATED CONC. SLAB:

- + 4" concrete slab
- + 6 mil. polyethylene vapor barrier
- + rigid insulation - min. R10
- + min. 6" compact gravel

F4 - INSULATED FLOOR ASSEMBLY, BUMPOUT:

- + wood flooring T.b.d.
- + Foam underlayment
- + 3/4" T&G plywood sub flooring
- + 6 mil. polyethylene vapor barrier
- + New floor I-joists, see structural
- + Mineral wool insulation to meet N.B.C.

F5 - INSULATED GARAGE CEILING:

- + 3/4" plywood sub-flooring
- + Wood framing, see structural
- + mineral wool insulation to meet NBC
- + 6 mil. polyethylene vapor barrier
- + 1/2" GWB primed and painted flat white

F6 - FLOOR ASSEMBLY, GARAGE LOFT:

- + 3/4" plywood sub-flooring
- + Wood framing, see structural
- + 1/2" GWB primed and painted flat white

F7 - DECK:

- + 2x6 white cedar with 1/4" open joint
- + Pressure Treated Wood Framing

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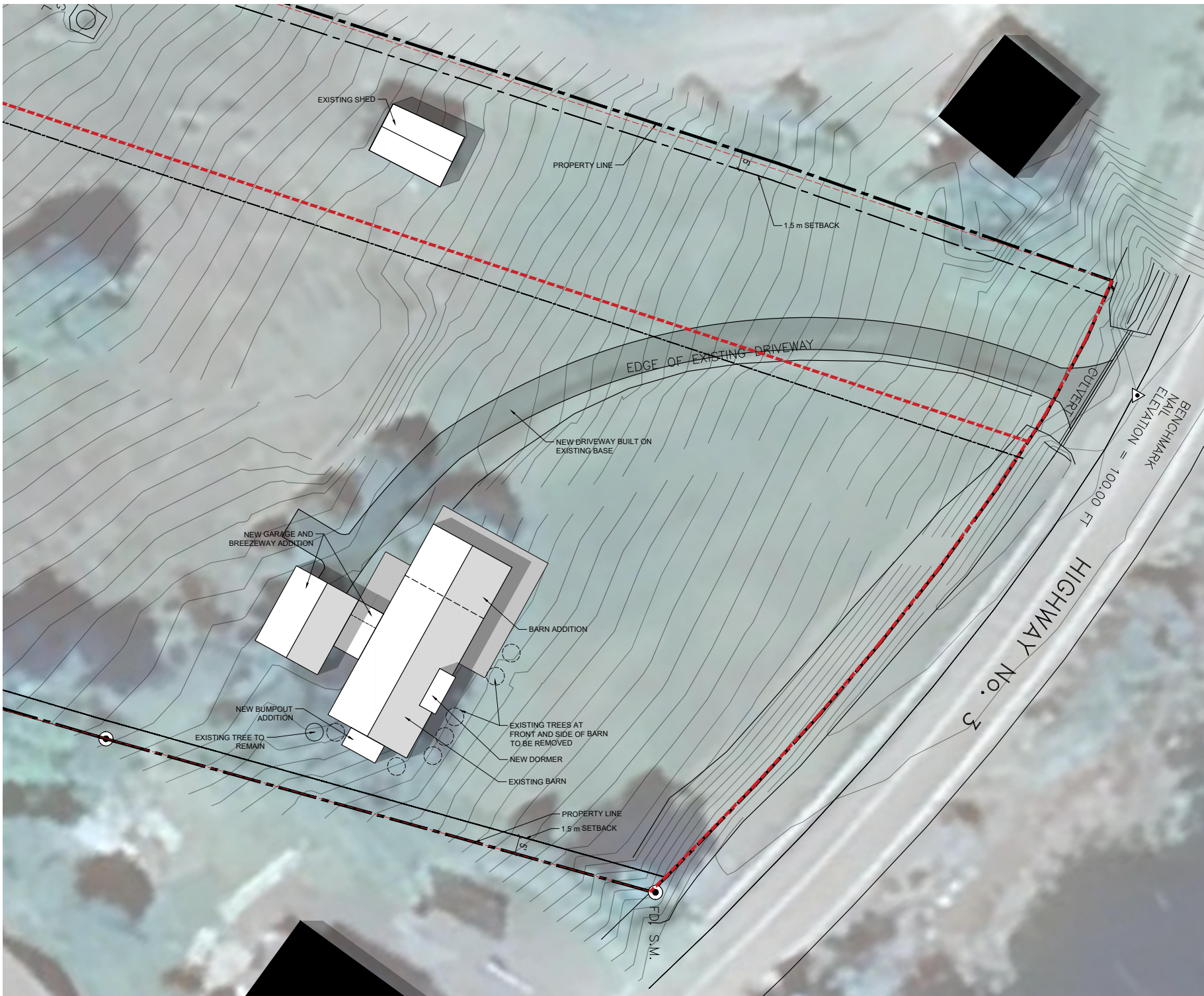
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Revisions / Issues:
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ASSEMBLIES

Scale: N/A
Date: 2021-09-07
Drawn by: EL
Checked by: NF
A002

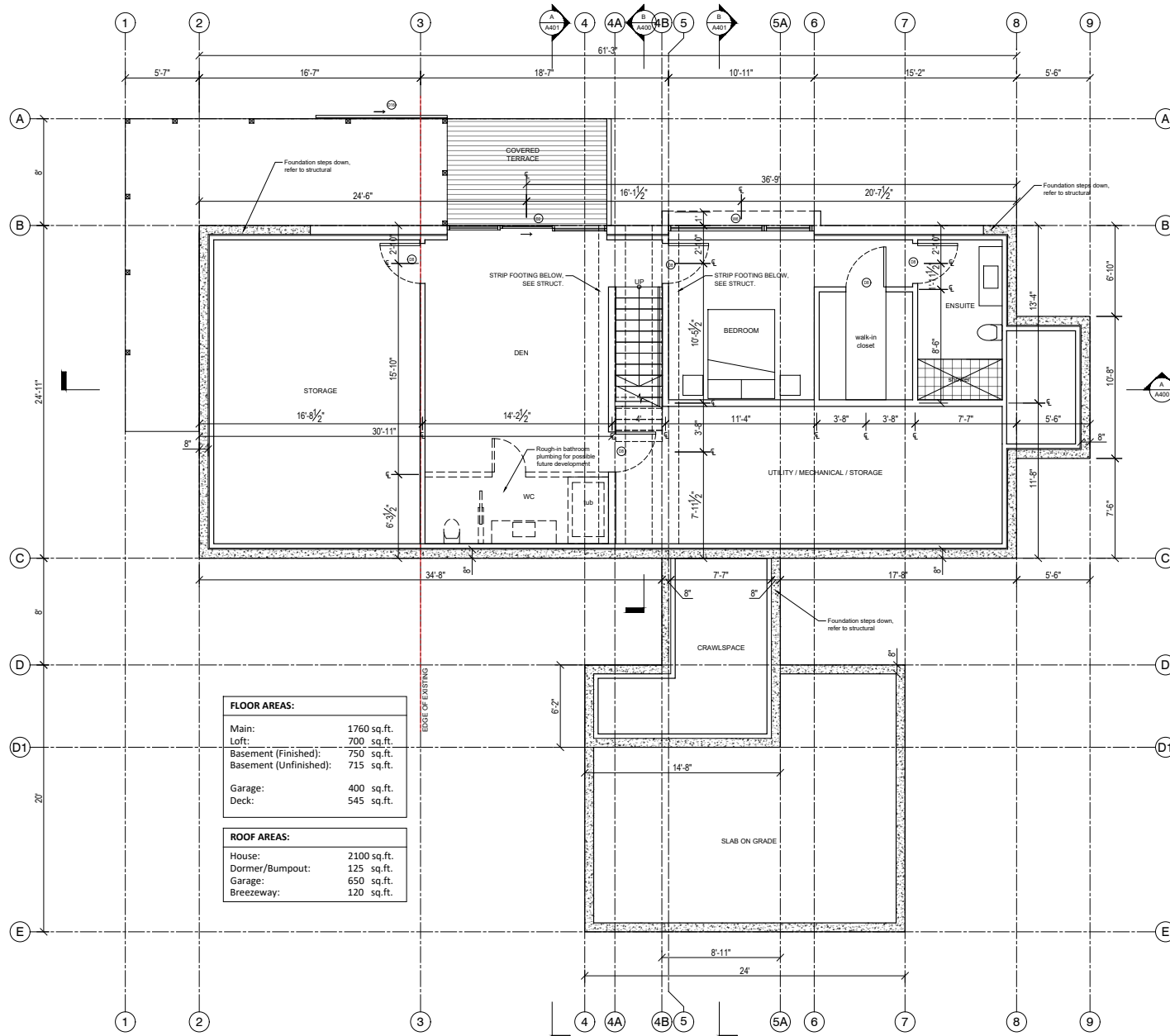


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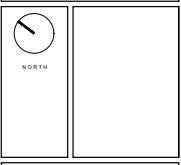


FLOOR AREAS:

Main:	1760 sq.ft.
Left:	700 sq.ft.
Basement (Finished):	750 sq.ft.
Basement (Unfinished):	715 sq.ft.
Garage:	400 sq.ft.
Deck:	545 sq.ft.

ROOF AREAS:

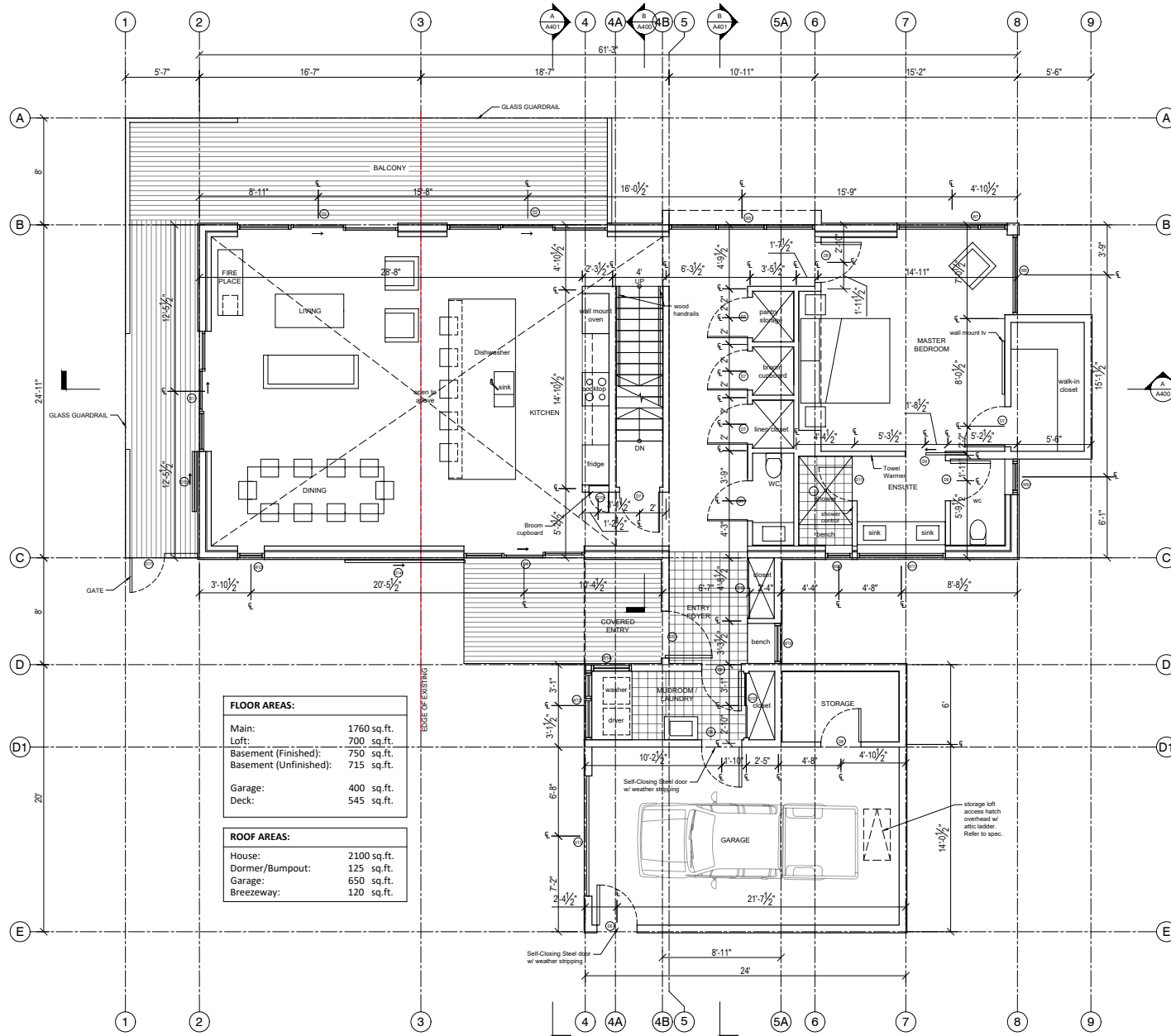
House:	2100 sq.ft.
Dormer/Bumpout:	125 sq.ft.
Garage:	650 sq.ft.
Breezeway:	120 sq.ft.



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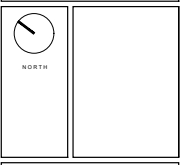


FLOOR AREAS:

Main:	1760 sq.ft.
Left:	700 sq.ft.
Basement (Finished):	750 sq.ft.
Basement (Unfinished):	715 sq.ft.
Garage:	400 sq.ft.
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ROOF AREAS:

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Breezeway:	120 sq.ft.



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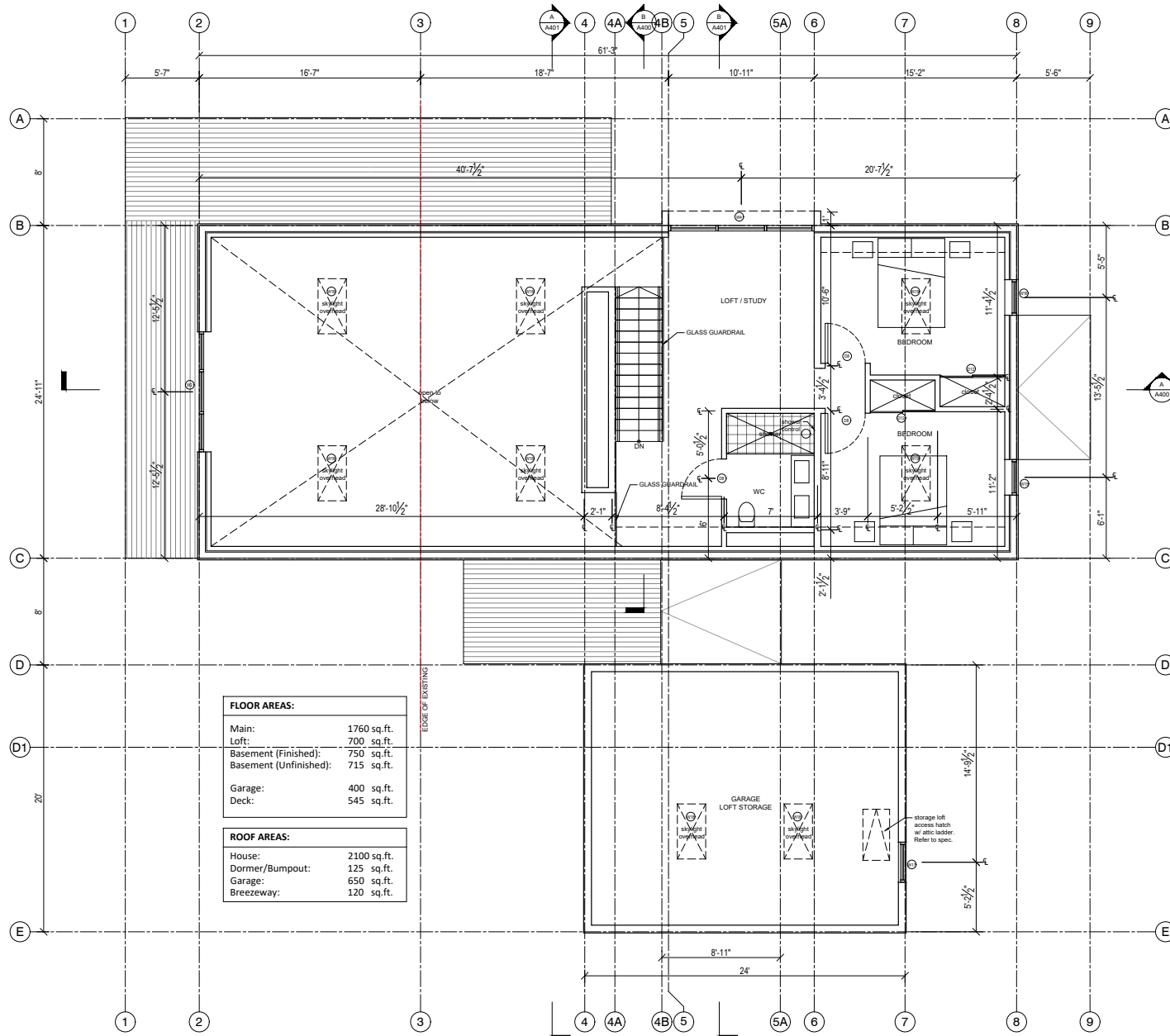
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MAIN FLOOR PLAN

Scale: 1/4" = 3/16"
Date: 2021-09-07
Drawn by: EL
Checked by: NF

A201

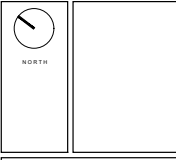


FLOOR AREAS:

Main:	1760 sq.ft.
Loft:	700 sq.ft.
Basement (Finished):	750 sq.ft.
Basement (Unfinished):	715 sq.ft.
Garage:	400 sq.ft.
Deck:	545 sq.ft.

ROOF AREAS:

House:	2100 sq.ft.
Dormer/Bumpout:	125 sq.ft.
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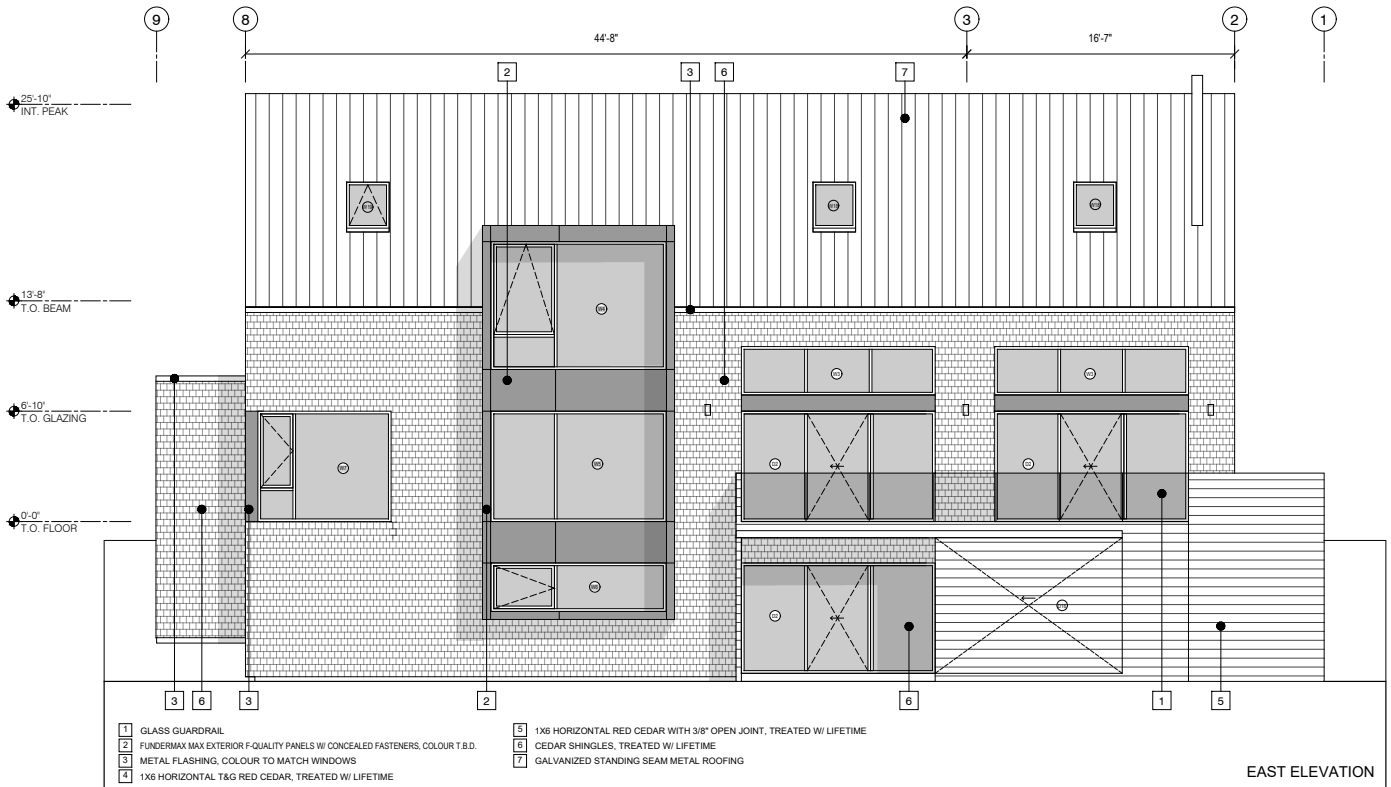
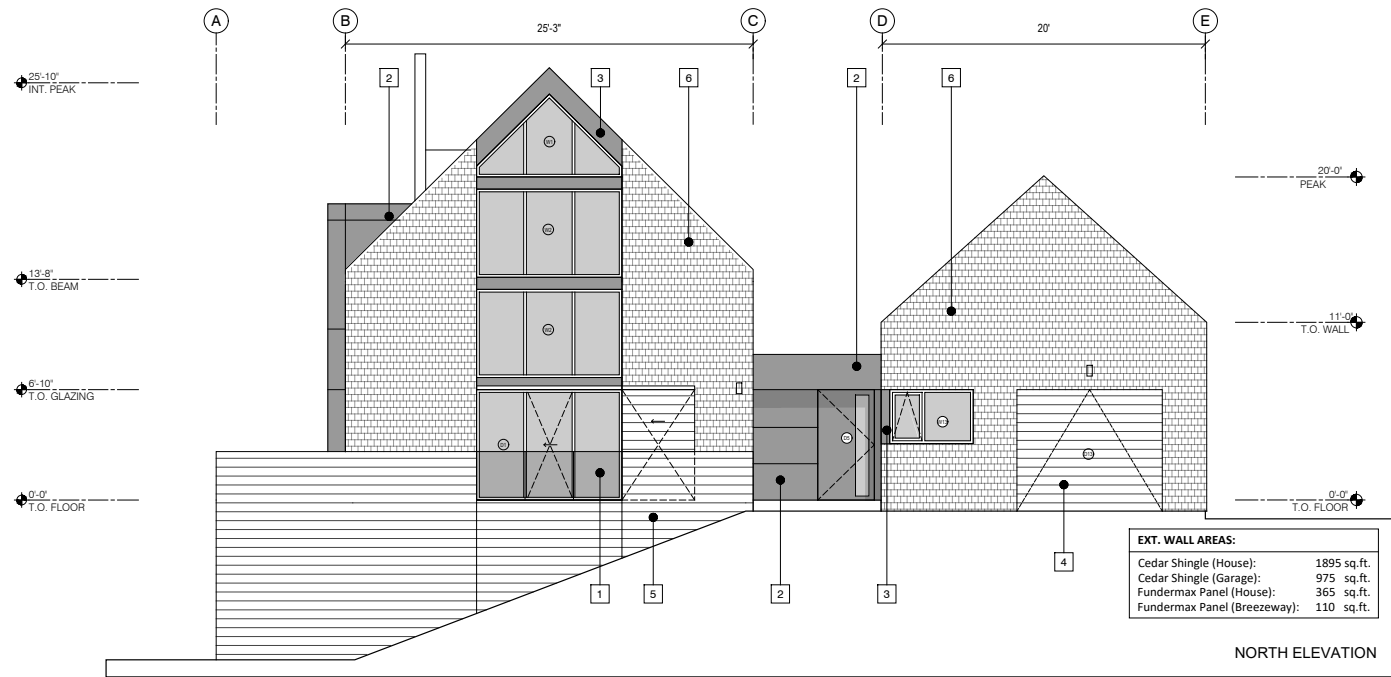
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L2 FLOOR PLAN

Scale: 1/4" = 3/16"
Date: 2021-09-07
Drawn by: EL
Checked by: NF

A202



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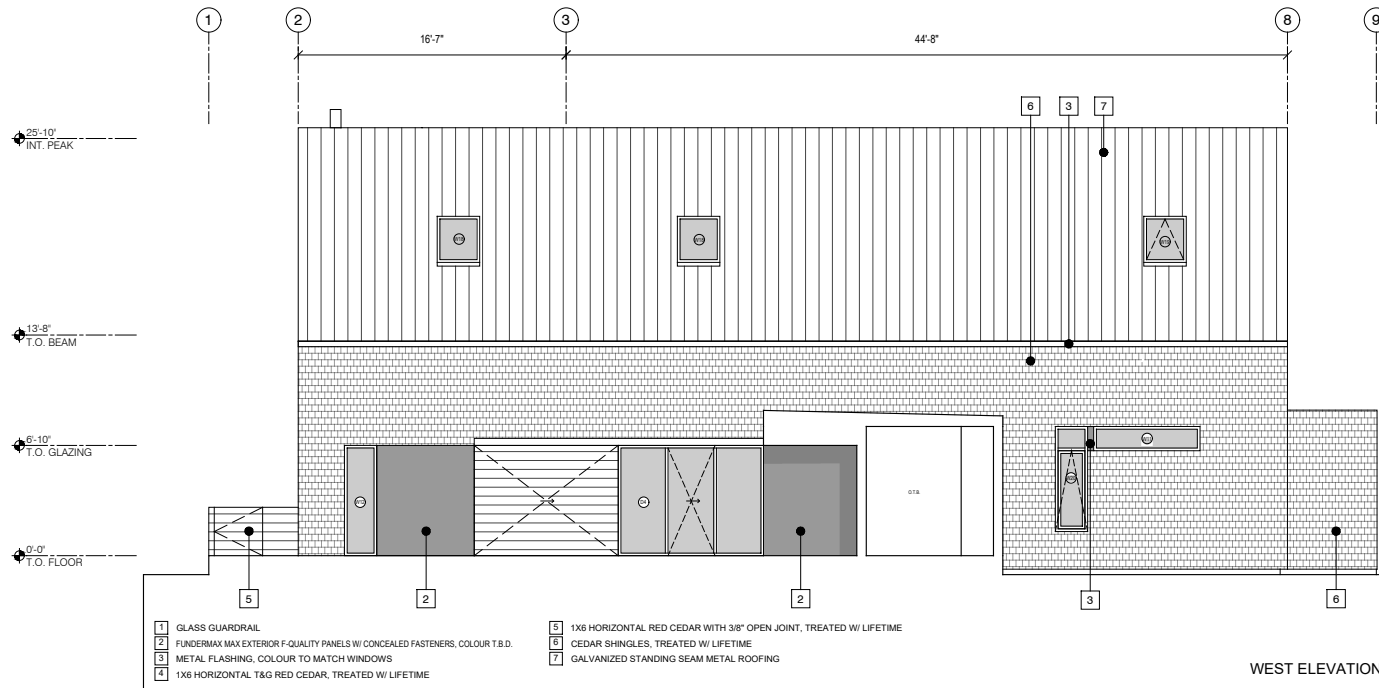
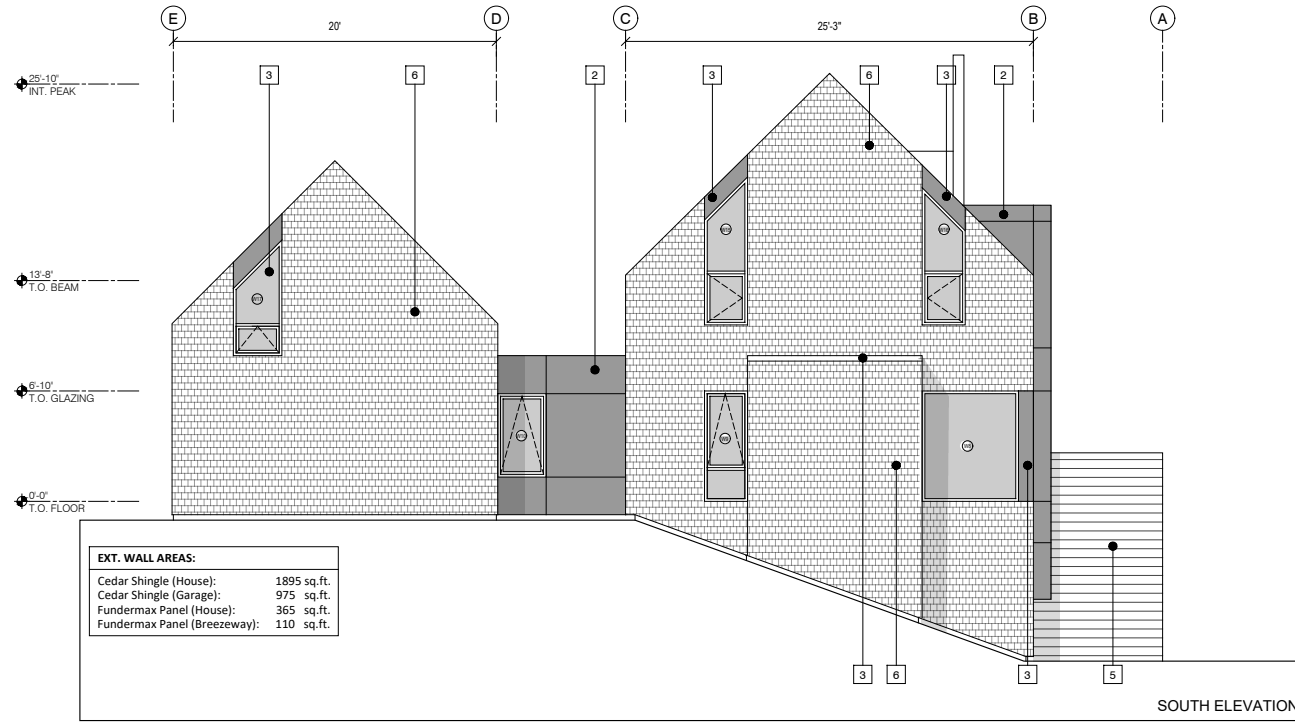
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NORTH + EAST ELEVATIONS

Scale: 1/4" = 3/16"
Date: 2021-09-07
Drawn by: EL
Checked by: NF

A300



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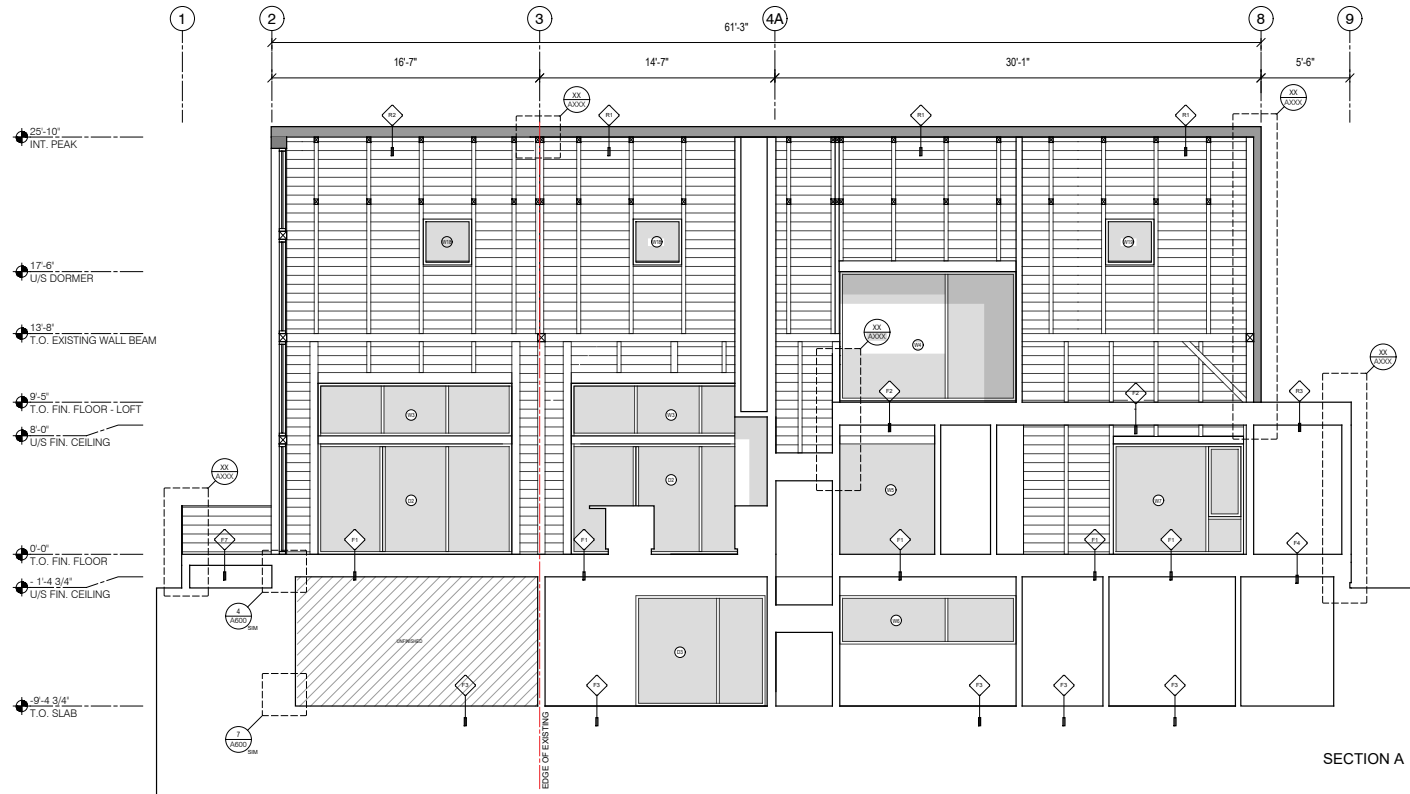
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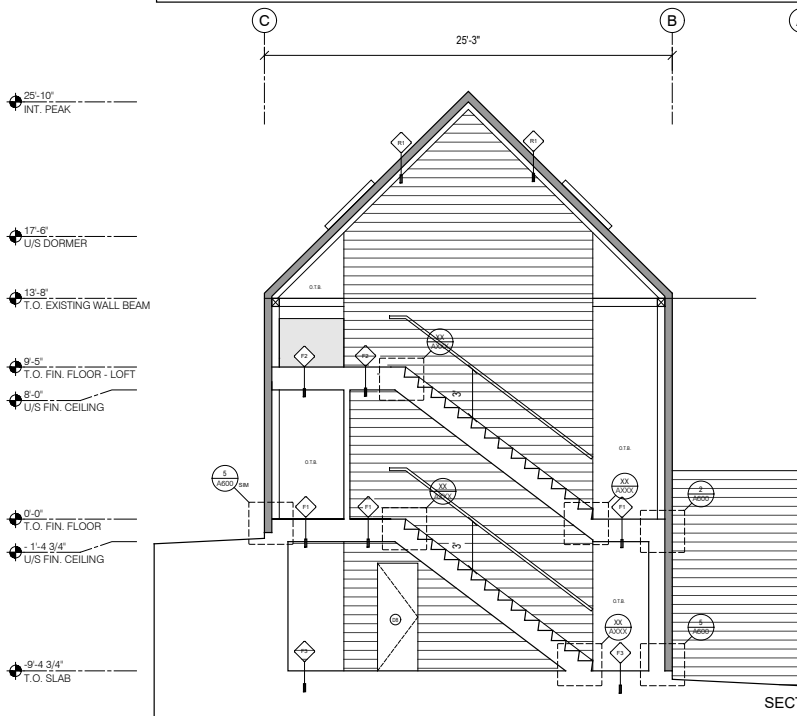
SOUTH + WEST ELEVATIONS

Scale: 1/4" = 3/16"
Date: 2021-09-07
Drawn by: EL
Checked by: NF

A301



SECTION A



SECTION B

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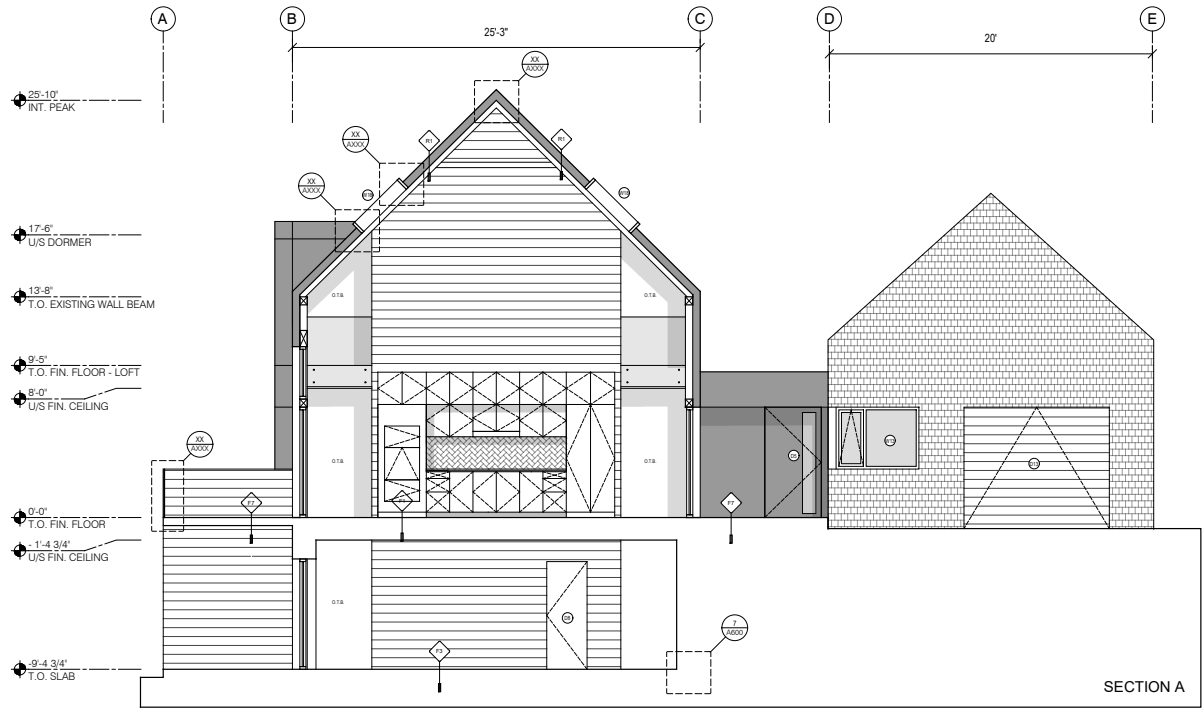
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Revisions / Issues:
No. Description Date

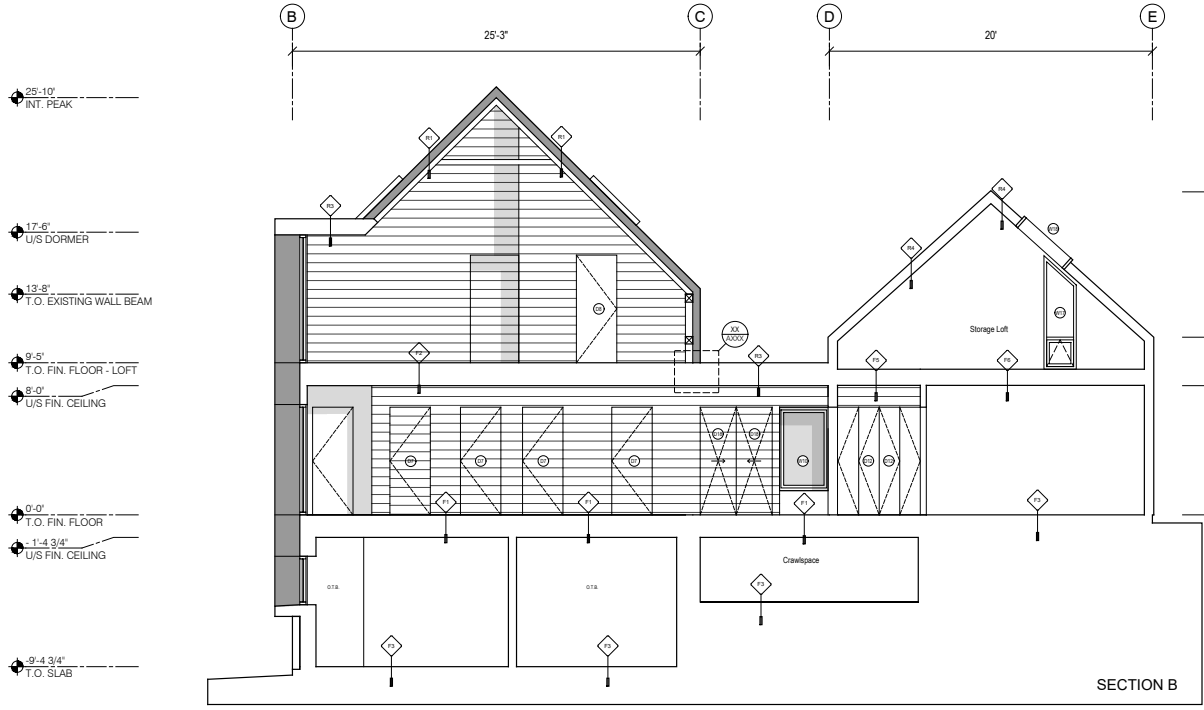
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SECTIONS

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Date: 2021-09-07
Drawn by: EL
Checked by: NF
A400



SECTION A



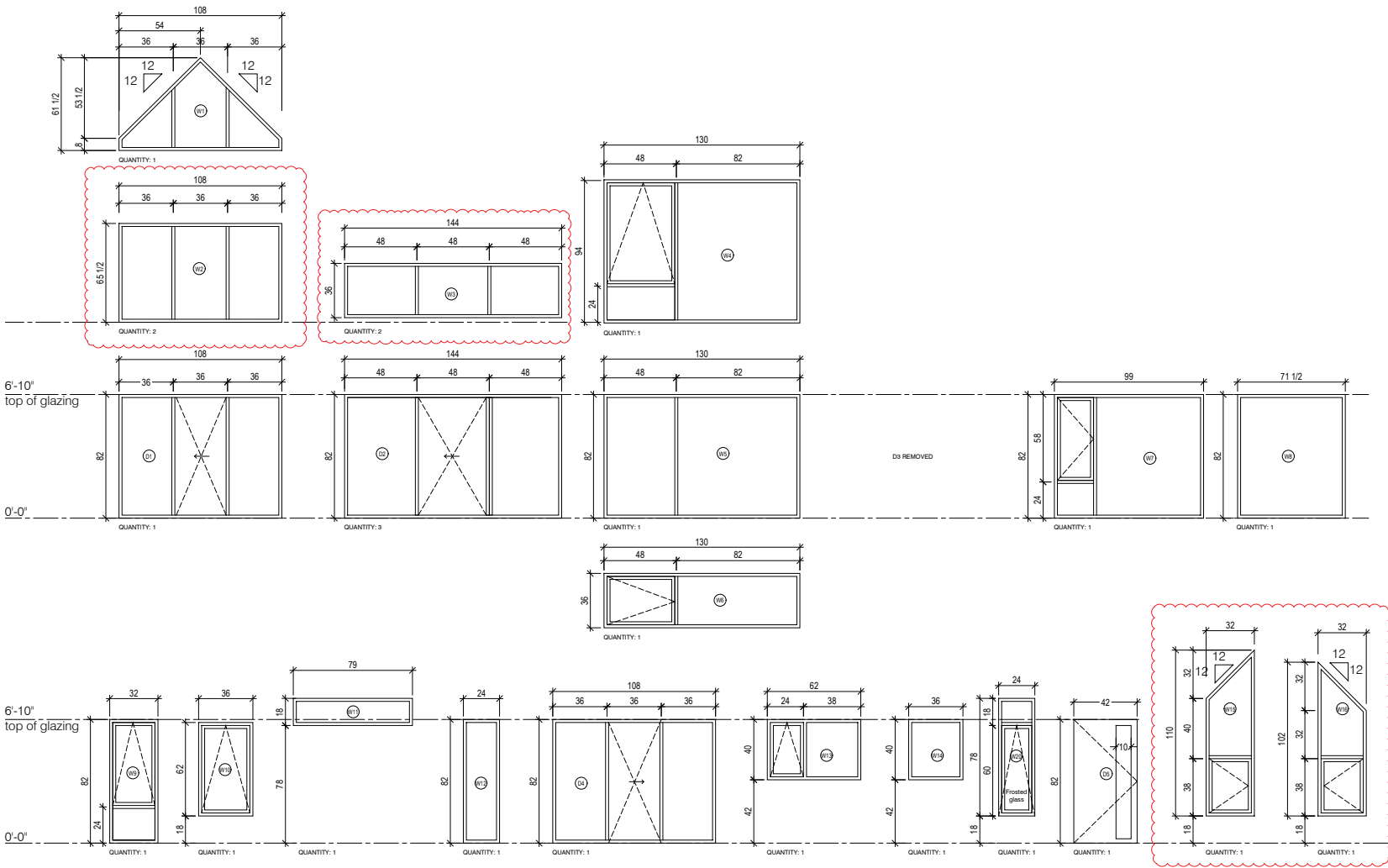
SECTION B

NICHOLAS FUDGE ARCHITECTS INC.
5340 Kays St.
Halifax, Nova Scotia
B3K 1Y5
902 245 8254

No.	Description	Date
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11	Issued For Construction	02-19-2022
10	Issued For Permit	09-07-2021
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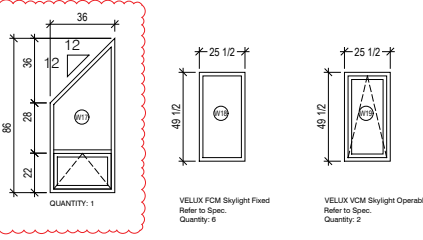
Revisions / Issues:

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DOOR SCHEDULE						
MARK	SIZE	TYPE	FRAME	HARDWARE	REMARKS	QUANTITY
D1	see above	PATIO DOOR		SEE SPEC	Roller blinds	1
D2	see above	PATIO DOOR		SEE SPEC	Roller blinds	3
D3					REMOVED	
D4	see above	PATIO DOOR		SEE SPEC		1
D5	see above	ENTRY DOOR		SEE SPEC	INSULATED EXTERIOR DOOR w/ GLASS LITE	1
D6	6'-10" x 3'-0"	INSULATED STEEL DOOR	STEEL	SEE SPEC	SELF CLOSING W/ WEATHERSTRIPPING	2
D7	6'-8" x 3'-0"	CUSTOM SWING DOOR	WOOD	SOSS HINGES	CONCEALED, CLAD TO MATCH ADJACENT WALL	11
D8	6'-8" x 3'-0"	SWING DOOR	WOOD	SEE SPEC	SOLID CORE SLAB DOOR	6
D9	6'-8" x 3'-0"	POCKET DOOR	WOOD	SEE SPEC	SOLID CORE SLAB DOOR	1
D10	6'-8" x 1'-6"	CUSTOM SWING DOOR		SEE SPEC	HIDDEN, CLAD TO MATCH ADJACENT WALL	1
D11	6'-8" x 2'-6"	GLASS SHOWER DOOR		SEE SPEC		1
D12	6'-8" x 5'-0"	CLOSET BIFOLD DOORS		SEE SPEC	SOLID CORE SLAB DOORS	3
D13	7'-6" x 9'-0"	GARAGE (UP & OVER)		SEE SPEC		1
D14	6'-10" x 9'-0"	CUSTOM EXT. BARN DOOR		SEE SPEC		1
D15	6'-10" x 4'-6"	CUSTOM EXT. BARN DOORS		SEE SPEC	BYPASS BARN DOORS W/ DUAL OVERHEAD TRACK	2
D16	8'-6" x 11'-8"	CUSTOM EXT. BARN DOOR		SEE SPEC		1
D17	3'-0" x 2'-6"	CUSTOM SWING GATE		SEE SPEC		1
D18	6'-8" x 2'-2"	CUSTOM BYPASS DOORS		SEE SPEC	CLAD TO MATCH ADJACENT WALL	2

WINDOW SCHEDULE						
MARK	SIZE	OPERABLE	TYPE	REMARKS	QUANTITY	
W1	see above			Angled to match pitch of roof	1	
W2	see above			Roller blinds	2	
W3	see above				2	
W4	see above	Yes	Awning	Roller blinds	1	
W5	see above			Roller blinds	1	
W6	see above	Yes	Casement	Roller blinds	1	
W7	see above	Yes	Casement	Roller blinds	1	
W8	see above			Roller blinds	1	
W9	see above	Yes	Awning	Roller blinds	1	
W10	see above	Yes	Awning		1	
W11	see above				1	
W12	see above				1	
W13	see above	Yes	Awning		1	
W14	see above				1	
W15	see above	Yes	Casement	Angled to match pitch of roof	1	
W16	see above	Yes	Casement	Angled to match pitch of roof	1	
W17	see above		Awning	Angled to match pitch of roof	1	
W18	see above		Velux Skylight - Curb mounted		6	
W19	see above	Yes	Skylight - VelaX Skylight - Curb mounted		2	
W20	see above	Yes	Awning	Frosted Glass	1	



Window Schedule Notes:

- + Windows and Exterior Doors to be Marvin Signature Ultimate with Pine Interior painted White and aluminum clad Exterior w/ Gunmetal Finish.
- + All Window dimensions to be confirmed on site prior to ordering.
- + The sizes are finished frames. It is the contractors responsibility to determine rough openings.
- + All operable windows to have screens.
- + All window head / sill / jamb flashings to match windows and doors.
- + All window dimensions in this drawing to be verified prior to installation.
- + Cap all jamb slots along floor.
- + Select windows to have roller blinds

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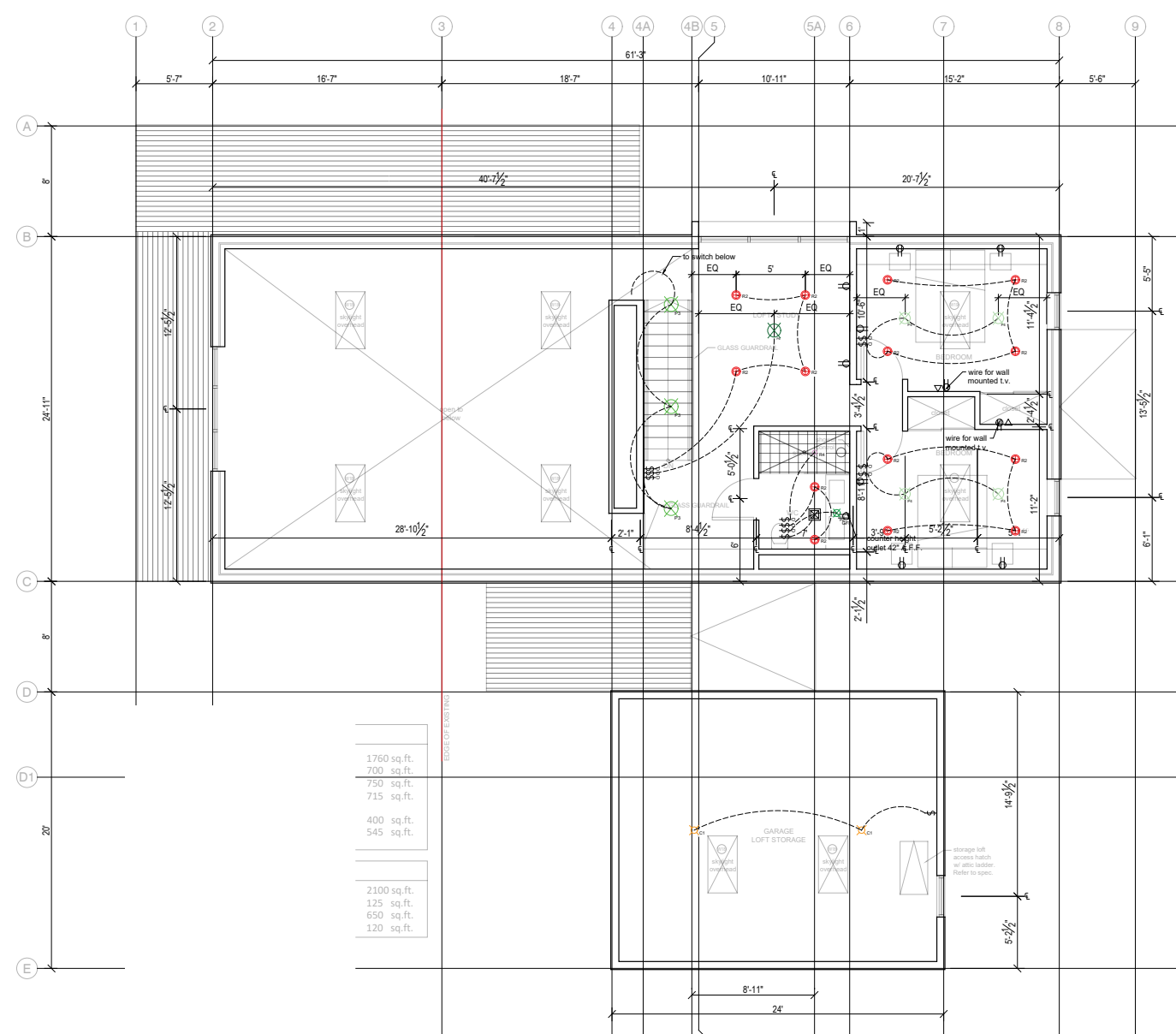
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WINDOW & DOOR SCHEDULE

Scale: 1/4" = 1'-0"
Date: 2021-09-07
Drawn by: EL
Checked by: NF

A700



EDGE OF FINISH

1760 sq.ft.
700 sq.ft.
750 sq.ft.
715 sq.ft.
400 sq.ft.
545 sq.ft.
2100 sq.ft.
125 sq.ft.
650 sq.ft.
120 sq.ft.

LIGHTING LEGEND

TYPE	LOCATION	SPECIFICATION	QUANTITY
Ⓛ ¹⁴	EXT. POT LIGHT	Basement terrace	
Ⓛ ¹¹	POT LIGHT	Ultralite 4" Luna LED Round Gimbal Recessed Fixture RAA-12	
Ⓛ ¹²	POT LIGHT	Ultralite 9" Lunapro LED Round Recessed	
Ⓛ ¹³	GIMBAL POT LIGHT	Ultralite 3" Luna Gimbal Recessed Fixture RAA-7S	
Ⓛ ¹⁶	WET RATED GIMBAL POT LIGHT	Showers	
Ⓛ ¹⁷	SURFACE MOUNT CEILING LIGHT	Mechanical / Garage	
Ⓛ ¹⁸	LED STRIP LIGHTING	Kitchen cabinet	
Ⓛ ¹⁹	PENDANT	Dining	2

TYPE	LOCATION	SPECIFICATION	QUANTITY
Ⓛ ²⁰	PENDANT	Bathrooms	Modern komfort - Castor Pendant White
Ⓛ ²¹	PENDANT	Lob stairs	Modern komfort - Baton Round Pendant - White
Ⓛ ²²	PENDANT	Kitchen / Living	Modern komfort - Blip Pendant II Chrome
Ⓛ ²³	PENDANT	Living	Modern komfort - Marco De Cruz Pendant Chrome
Ⓛ ²⁴	PENDANT	Office / Loft	Modern komfort - Jax Pendant SLight Polished Nickel
Ⓛ ²⁵	WALL SCONCE	Master Bath	Modern komfort - Clara 2 Light Vanity/Wall Sconce Chrome
Ⓛ ²⁶	EXTERIOR WALL SCONCE	Modern komfort - Boyton Wall Lantern, Small, Painted Brushed Steel	
Ⓛ ²⁷	EXTERIOR WALL SCONCE	Garage	Modern komfort - Farm Wall Sconce - Medium, Weathered Pewter

POWER AND COMMUNICATIONS LEGEND

Ⓛ ²⁸	WALL MOUNTED DUPLEX RECEPTACLE
Ⓛ ²⁹	WALL MOUNTED DUPLEX RECEPTACLE W/ GROUND FAULT INTERRUPTER
Ⓛ ³⁰	EXTERIOR WALL MOUNTED DUPLEX RECEPTACLE black
Ⓛ ³¹	LOCATION OF WALL SWITCH
Ⓛ ³²	LOCATION OF WALL DIMMER SWITCH
Ⓛ ³³	FLOOR MOUNTED DUPLEX RECEPTACLE
Ⓛ ³⁴	EXHAUST FAN: Type 13-d

PLUMBING

Ⓛ ³⁵	HOSE BIB
Ⓛ ³⁶	LOCATION OF INTERNET JACK
Ⓛ ³⁷	LOCATION OF TV/CABLE OUTLET
Ⓛ ³⁸	CEILING FAN T.B.D.

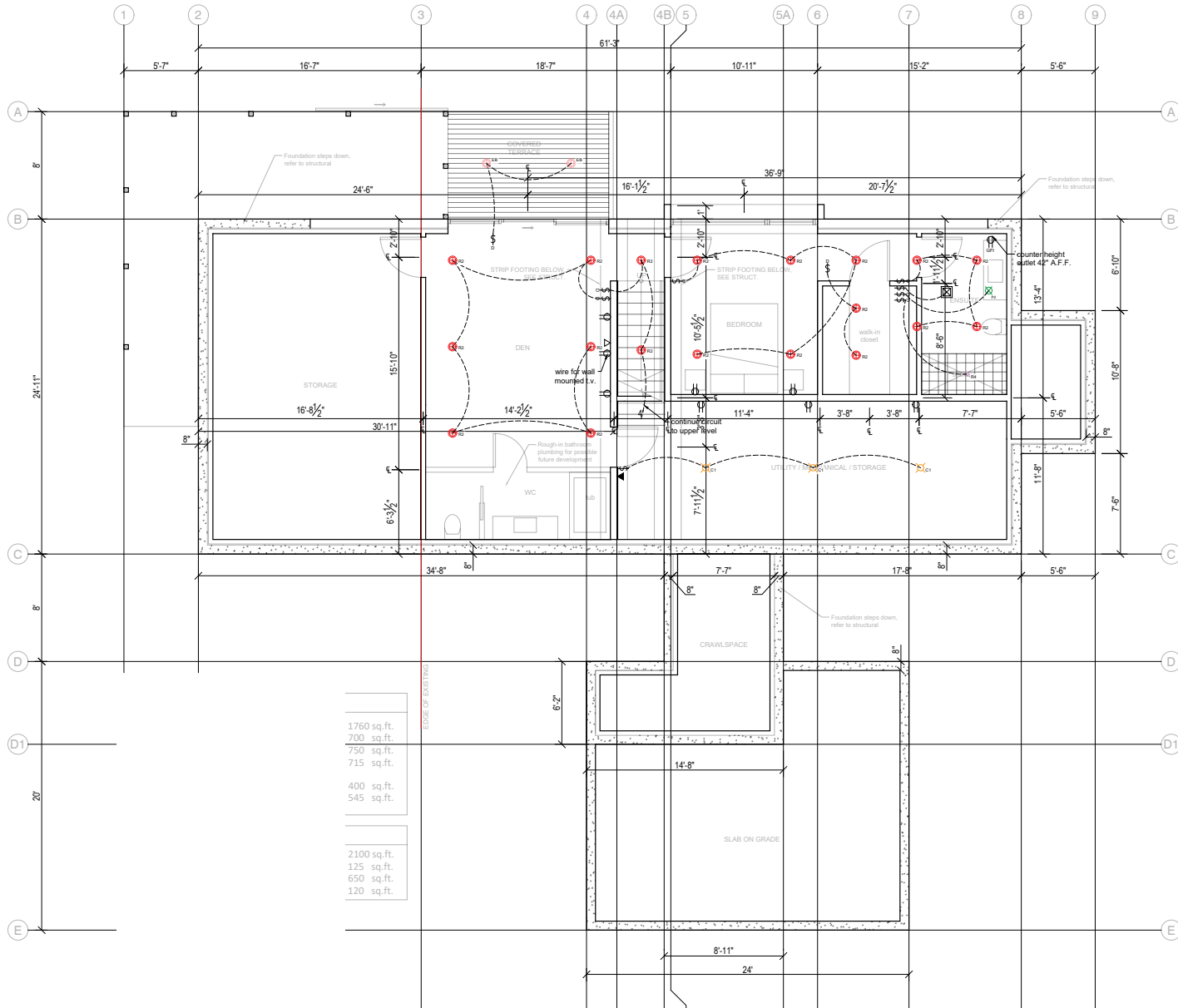
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Any exposed conduit to be painted white.

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700 sq.ft.
750 sq.ft.
715 sq.ft.
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2100 sq.ft.
125 sq.ft.
650 sq.ft.
120 sq.ft.

LIGHTING LEGEND

TYPE	LOCATION	SPECIFICATION	QUANTITY
Ⓛ ¹⁴	Basement terrace	Ext. POT LIGHT	
Ⓛ ¹⁴		Littlele 4" Luna LED Round Gimbal Recessed Fixture RAA-12	
Ⓛ ¹⁴		Littlele 3" Luna LED Round Recessed Fixture RAA-12	
Ⓛ ¹⁴	Master bedroom	Littlele 3" Luna LED Round Recessed Fixture RAA-12	
Ⓛ ¹⁴	Shower	WET RATED GIMBAL POT LIGHT	
Ⓛ ¹⁴	Mechanical / Garage	SURFACE MOUNT CEILING LIGHT	
Ⓛ ¹⁴	Kitchen cabinet	LED STRIP LIGHTING	
Ⓛ ¹⁴	Dining	PENDANT	2

TYPE	LOCATION	SPECIFICATION	QUANTITY
Ⓛ ¹⁴	Bathrooms	Modern komfort - Castor Pendant White	
Ⓛ ¹⁴	Loft stairs	Modern komfort - Baton Round Pendant - White	
Ⓛ ¹⁴	Kitchen / Living	Modern komfort - Strip Pendant II Chrome	
Ⓛ ¹⁴	Living	Modern komfort - Marco De Cruz Pendant - Chrome	
Ⓛ ¹⁴	Office / Loft	Modern komfort - Jax Pendant 12 Light Polished Nickel	
Ⓛ ¹⁴	Master Bath	WALL SCIENCE	
Ⓛ ¹⁴		Modern komfort - Clear 2 Light Vanity/Wall Sconce Chrome	
Ⓛ ¹⁴		Modern komfort - Boynton Wall Lantern, Small, Painted Brushed Steel	
Ⓛ ¹⁴	Garage	EXTERIOR WALL SCIENCE	
Ⓛ ¹⁴		Modern komfort - Farm Wall Sconce - Medium, Weathered Pewter	

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